

**AGENDA
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
SEPTEMBER 9, 2014**

After determining that a quorum is present, the Planning and Zoning Commission of the City of The Colony, Texas will convene into regular session which will be held on Tuesday, September 9, 2014 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items will be addressed:

1.0	CALL REGULAR SESSION TO ORDER
1.1	Citizen Input
2.0	CONSENT AGENDA
2.1	Consider approval of the minutes of the August 12, 2014 Regular Session.
2.2	<i>RP14-0003, Gateway 121 Commercial Subdivision</i> Consider approval of a Replat of Lot 4, Block A of the Gateway 121 Commercial Subdivision into two (2) lots, Lots 4R and 5, Block A of the Gateway 121 Commercial Subdivision, being a 2.24 acre tract of land, located at the north side of the Sam Rayburn Tollway (S.H. 121) approximately 450 feet east of Blair Oaks Drive.
2.3	<i>FP14-0010, Assured Storage Addition, Lot 2, Block A (Holiday Inn)</i> Consider approval of a Final Plat of Lot 2, Block A of the Assured Storage Addition, being a 3.03 acre tract of land in the BBB and CRR Survey, Abstract No. 173, located at the southwest corner of Memorial Drive and Paige Road.
3.0	PUBLIC HEARING ITEMS
	<i>None</i>
4.0	DISCUSSION ITEMS
4.1	<i>SP14-0011, Methodist Urgent Care Site Plan</i> Discuss and consider making a recommendation to City Council on a request for approval of a Site Plan for a 7,600 square foot medical clinic, Methodist Urgent Care, to be located on a 0.87 acre tract of land on the north side of the Sam Rayburn Tollway (S.H. 121) approximately 450 feet east of Blair Oaks Drive.
4.2	<i>SP14-0013, Hampton Inn Site Plan</i> Discuss and consider making a recommendation to City Council on a request for approval of a Development Plan for a six story, 115-room Hampton Inn to be located on a 2.68 acre tract of land on the northeast corner of Plano Parkway and Bargain Way.
4.3	<i>Director's Monthly Report</i>

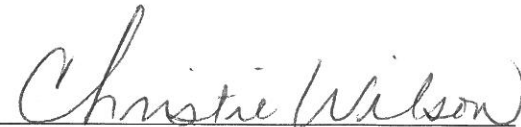
"Pursuant to the Texas Open Meetings Act, Government Code Chapter 551, one or more of the above items may be considered in executive session closed to the public. Any decision held on such matter will be taken or conducted in open session following the conclusion of the executive session".

Persons with disabilities who plan to attend this meeting who may need auxiliary aids such as interpreters for persons who are deaf or hearing impaired, readers or, large print are requested to contact Christie Wilson, City Secretary, at 972-624-3106 at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

CERTIFICATION

I hereby certify that above notice of meeting was posted outside the front door of City Hall by 5:00 p.m. on the 5th day of September, 2014.




Christie Wilson, City Secretary

**MINUTES
CITY OF THE COLONY
PLANNING AND ZONING COMMISSION
AUGUST 12, 2014**

After determining that a quorum was present, the Planning and Zoning Commission of the City of The Colony, Texas convened into Regular Session which was held on Tuesday, August 12, 2014 at 6:30 PM in the City Council Chambers located in City Hall, 6800 Main Street, The Colony, Texas, at which time the following items were addressed:

Board Members Present: Karen Hames, Chairman; Brian Wade, Vice-Chairman; Shannon Hebb; Cesar Molina, Jr. and Detrick DeBurr

Board Members Absent: Cody Hall and Brian Buffington

City Council Liaison Absent: David Terre, City Council Place 4

Staff Present: J. Michael Joyce, AICP, Planning Director, Brooks Wilson, AICP, Senior Planner; Gordon Scruggs, Engineering Director and Brian McNulty, Recording Secretary.

1.0	CALL REGULAR SESSION TO ORDER
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Chairman Hames called the meeting to order at 6:32 PM.

1.2	CITIZEN INPUT
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No citizens came forward during Citizen Input.

2.0	CONSENT AGENDA
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2.1	Consider approval of the minutes of the July 22, 2014 Regular Session.
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2.2	<i>FP14-0011, Austin Waters East, Phase 1</i>
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	Consider approval of a Final Plat of Lots 2–14, Block A; Lots 2–53, Block B; Lots 1–21, Block C; Lots 2–11, Block D; Lots 2–26, Block E; Lots 2–8, Block F for a total of 125 residential lots plus Lot 1X, Block A; Lot 1X, Block B; Lot 1X, Block D; Lot 1X, Block E; Lot 1X, Block F and Lot 1X, Block J for a total of six (6) common areas of Austin Waters East, Phase 1, being a 53.02 acre tract of land located in the B. Schoonover Survey, Abstract No. 1208 and the S. Brown Survey, Abstract No. 111, and located on the south side of Windhaven Parkway and west of the BNSF Railroad line in Austin Ranch (PD-22).
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Chairman Hames read the Consent Agenda items into the record.

Commissioner Wade moved to approve the Consent Agenda. Commissioner Hebb seconded the motion. Motion carried (5-0).

3.0	PUBLIC HEARING ITEMS
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3.1	<i>SUP14-0006, Wingate by Wyndham Limited Service Hotel</i>
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	Conduct a public hearing, discuss and consider making a recommendation to City Council on an application for a Specific Use Permit (SUP) to allow a limited service hotel, Wingate by Wyndham to be located on a 1.42 acre tract of land on the north side of the Sam Rayburn Tollway (S.H. 121) and approximately 250 feet east of Standridge Drive, 3909 S.H. 121.
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Chairman Hames opened the public meeting. No one came forward to speak.

Commissioner Molina moved to continue the public hearing for Item 3.1 until September 9, 2014. Commissioner Wade seconded the motion. Motion carried (5-0).

3.0	PUBLIC HEARING ITEMS
3.2	<i>SUP14-0007, La Quinta Limited Service Hotel</i> Conduct a public hearing, discuss and consider making a recommendation to City Council on an application for a Specific Use Permit (SUP) to allow a limited service hotel, La Quinta, to be located on a 1.62 acre tract of land on the southeast corner of Memorial Drive and Market Street Drive.

Ms. Wilson presented the staff report.

Mr. Dilip Patel of PRP Architects, 2600 Ventura Drive, Plano, Texas, and Ms. Lynn Dowdle, President of Dowdle Real Estate, 6282 Willowgate, Dallas, Texas explained the details of their slide presentation. Ms. Dowdle stated that this design was the new prototype for La Quinta, designed by 5G Group out of Dallas.

Commissioner Molina asked the applicants what the price point is planned to be.

Mr. Patel responded that the nightly rate is projected to be \$120.00.

Commissioner Wade asked if the hotel would have direct access to the S.H. 121 frontage road.

Ms. Wilson explained that a gas easement runs diagonally across the property and that the building, parking and drive aisles would be outside the easement and therefore there would be no connection to S.H. 121.

Commissioner Hebb complimented the applicants on the look of the interiors of the hotel

Commissioner Wade asked staff if they would only be considering the Specific Use Permit at this time and not the site plan or plat.

Mr. Mike Joyce, Planning Director, responded that the site plan and plat would be submitted later, pending approval of the SUP.

Chairman Hames opened the Public Hearing. No one came forward to speak. Chairman Hames closed the Public Hearing.

There being no further comments or questions from the Commissioners, Acting Chairman Wade called the question.

Commissioner Hebb moved to approve Item 3.2. Commissioner Molina seconded the motion. Motion carried (5-0).

There being no further business to come before the Commission, Chairman Hames adjourned the Regular Session of the Planning and Zoning Commission at 6:50 PM.

Karen Hames, Chairman

Brian McNulty, Recording Secretary

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: September 9, 2014

DEPARTMENT: Development Services Department

PLANNER: Brooks Wilson, AICP, Senior Planner, 972-624-3164

SUBJECT *RP14-0003 Gateway 121 Commercial Subdivision*

Consider approval of a replat of Lot 4, Block A of the Gateway 121 Commercial Subdivision into two (2) lots, Lots 4R and 5, Block A of the Gateway 121 Commercial Subdivision, being a 2.24 acre tract of land, located at the north side of the Sam Rayburn Tollway (S.H. 121) approximately 450 feet east of Blair Oaks Drive.

APPLICANT

Owner/Developer:	NDC Blair Oaks Project, LP	Dallas, Texas
Engineer:	Cross Engineering, Inc.	McKinney, Texas
Surveyor:	Ringley & Associates, Inc.	McKinney, Texas

EXISTING CONDITION OF PROPERTY

The tract is undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing to replat the lots in order to sell a portion of the development.

ADJACENT ZONING

North - PD-26 and the Gateway Overlay District - Top Golf
South - Sam Rayburn Tollway (S.H. 121) and City of Lewisville
East- BP-Business Park and the Gateway Overlay District – undeveloped land
West- BP-Business Park and the Gateway Overlay District – undeveloped land and Peter Piper Pizza

PLAT DETAILS

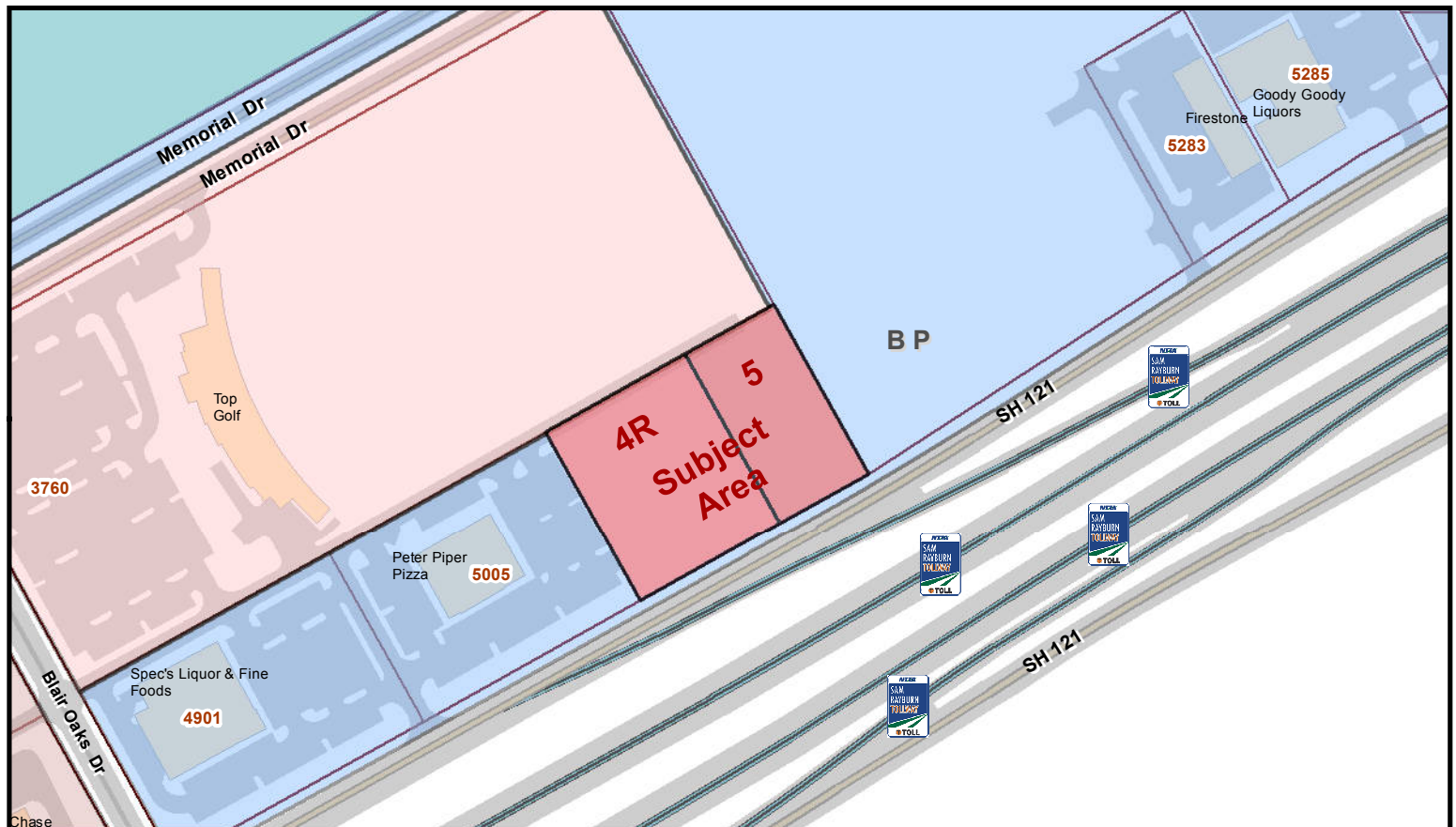
Lot 4 was the remainder following the filing of the plat for Lot 3, Block A (FP13-0004) which was approved by the Planning and Zoning Commission on 4/23/13 for the development of Peter Piper Pizza. The owner now wishes to subdivide Lot 4 into two lots, Lot 4R and Lot 5. Lot 5 (0.87 acres) will be developed as Methodist Urgent Care clinic. There are no immediate plans for Lot 4R (1.37 acres).

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the replat.

ATTACHMENTS

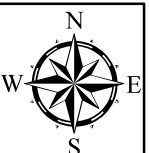
1. Location Map
2. Proposed Replat

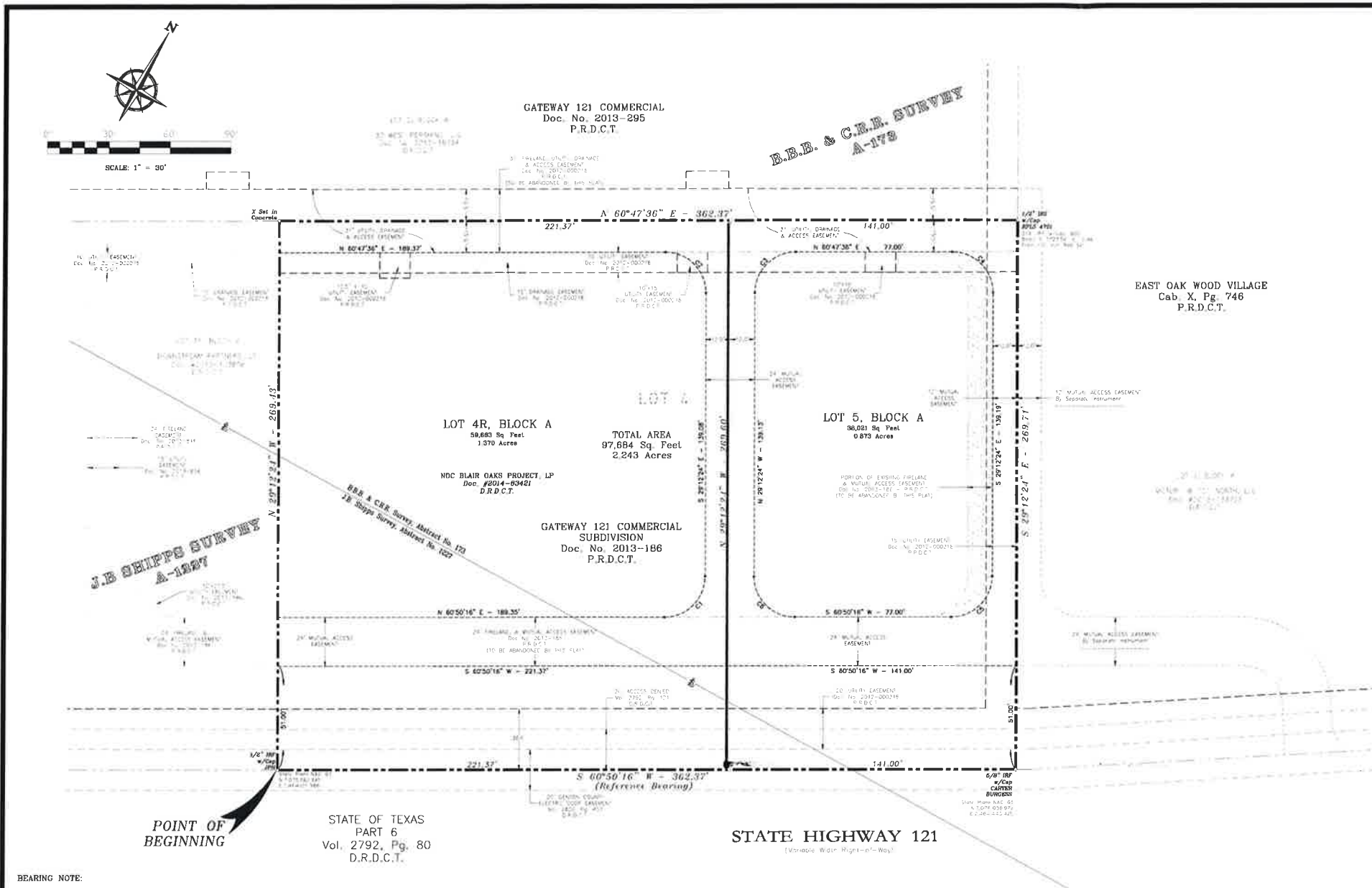


Project No. RP14-0003 - Project Name: Gateway 121 Commercial Lots 4R and 5

Gateway 121, Lot 5	Shopping Center	Heavy Commercial	Mobile Home	Business Park	Building Footprints	PD; PD27; PD28
Gateway 121, Lot 4R	General Retail	Single Family Dwelling	Neighborhood Service	Industrial	Parks	PD; PD9
	Light Commercial	Duplex Dwelling	Office District 1	Agricultural		PD

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.

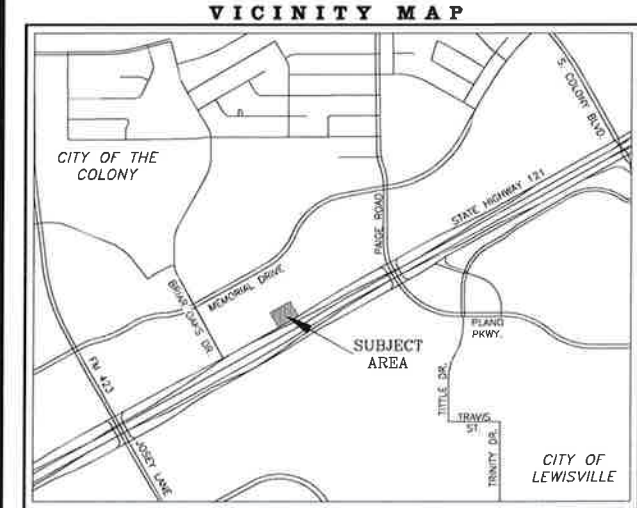




BEARING NOTE:
The Bearing Base of this Plat is (S 60° 50' 16" W), Along the South line of Lot 4, Block A of GATEWAY 121 COMMERCIAL SUBDIVISION, Recorded in Document No. 2013-186, of the Plat Records of Denton County, Texas.

PURPOSE STATEMENT:
The purpose of this Replat is to subdivide Lot 4, Block A, of the Gateway 121 Commercial Subdivision recorded in Document Number 2013-186, of the Plat Records, Denton County, Texas, into two lots.

FLOOD ZONE NOTE:
This Surveyor has reviewed Flood Insurance Rate Map No. 48121C0560 G (effective date April 18, 2011) published by the Federal Emergency Management Administration for Denton County, Texas and based upon said scaled map and graphic plotting, such review indicates that no part of the subject parcel lies within the 100 Year Flood Plain.



SURVEYOR'S CERTIFICATE
That I, Lawrence H. Ringley, do hereby certify that I have prepared this plat and the field notes shown hereon from an on ground survey of that land, and this plat is a true, correct and accurate representation of the physical evidence found at the time of the survey; that the corner monuments shown hereon were found and/or placed under my personal supervision. This plat was prepared in accordance with the platting rules and regulations of the City of The Colony, Texas.

DATED this the _____ day of _____, 2014.

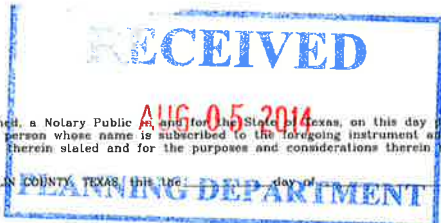
Lawrence H. Ringley
State of Texas, No. 4701

STATE OF TEXAS }
COUNTY OF COLLIN }

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Lawrence H. Ringley, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND in COLLIN COUNTY, TEXAS, this _____ day of _____, 2014

Notary Public, State of Texas



FILED _____ DOC. # _____ P.R.D.C.T.

LEGAL DESCRIPTION

WHEREAS, 350 INVESTMENTS, LLC is the owner of certain parcels of land situated in the City of Lewisville, in the E. Aday Survey, Abstract No. 11 of Denton County, Texas and said parcels being all of Lot 1, Block A of the LAMB ADDITION, an addition to the City of Lewisville, according to the plat thereof, recorded in Cabinet F, Page 15, Plat Records of Denton County, Texas (P.R.D.C.T.) and also being all of Lot 1, Block A of LAMB ADDITION, PHASE II, an addition to the City of Lewisville, according to the plat thereof, recorded in Cabinet U, Page 120, P.R.D.C.T. and the consolidation of said parcels being more particularly described by metes & bounds as follows:

BEGINNING at a 1/2 inch iron rod, topped with a plastic cap, stamped "G&AC", found on the South right-of-way of McDonnell Street (50' wide right-of-way at this point), for the Northwest corner of said Lot 1, Block A of Lamb Addition, Phase II and same being the on the East line of Lot 1, Block A of One R.M.P. Place, an addition to the City of Lewisville, according to the plat thereof, recorded in Cabinet F, Page 50, P.R.D.C.T.;

THENCE: South 87 deg. 53 min. 42 sec. East, along the common line of said Lamb Addition, Phase II and McDonnell Street, a distance of 105.49 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "G&AC", found for the Northeast corner of said Lot 1, Block A of Lamb Addition, Phase II, on the West line of the above described Lot 1, Block A of Lamb Addition;

THENCE: North 01 deg. 03 min. 27 sec. East, along the West line of Lot 1, Block A of Lamb Addition, a distance of 9.90 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "ASC", found for the Northwest corner of said Lot 1, Block A of Lamb Addition and same being on the South right-of-way of said McDonnell Street (40' wide right-of-way at this point);

THENCE: South 87 deg. 52 min. 55 sec. East, along the common line of said Lot 1, Block A of Lamb Addition and McDonnell Street a distance of 105.44 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "ASC", found for the Northeast corner of said Lot 1, Block A of Lamb Addition and same being the Northwest corner of that certain tract of land described in a deed to Steven A. Cox, recorded in Document No. 2008-70408, Deed Records of Denton County, Texas, (D.R.D.C.T.);

THENCE: South 00 deg. 30 min. 30 sec. West, along the common line of said Lot 1, Block A and said Cox tract, a distance of 188.11 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "RPLS 4701", set for the Southeast corner of said Lot 1, Block A of Lamb Addition and the Southwest corner of said Cox tract and same being on the North line of that certain tract of land described in a deed to Ralph Pinkus, recorded in Document No. 2007-99696, D.R.D.C.T.;

THENCE: North 89 deg. 01 min. 24 sec. West, along the common line of said Lot 1, Block A of Lamb Addition and said Pinkus tract, a distance of 105.55 feet to a 1/2 inch iron rod, topped with a plastic cap, stamped "G&AC", found for the southwest corner of Lot 1, Block A of Lamb Addition and the Southeast corner of said Lot 1, Block A of Lamb Addition, Phase II;

THENCE: North 88 deg. 37 min. 00 sec. West (Reference Bearing), along the common line of said Lot 1, Block A of Lamb Addition, Phase II and said Pinkus tract, a distance of 105.17 feet to a 1/2 inch iron rod found for the Southwest corner of said Lot 1, Block A of Lamb Addition, Phase II and same being the Southeast corner of the above mentioned One R.M.P. Place;

THENCE: North 00 deg. 34 min. 19 sec. East, along the common line of said Lamb Addition, Phase II and said One R.M.P. Place, a distance of 181.64 feet to the POINT OF BEGINNING and containing 39,016 square feet or 0.896 acres of land.

DEDICATION STATEMENT
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS,

THAT, NDC BLAIR OAKS PROJECT, LP, BY AND THROUGH THE UNDERSIGNED, THEIR DULY AUTHORIZED AGENTS, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS LOTS 4R AND 5, BLOCK A, GATEWAY 121 COMMERCIAL SUBDIVISION, AN ADDITION TO THE CITY OF THE COLONY, DENTON COUNTY, TEXAS AND DO HEREBY DEDICATE IN TRIP SIMPLE TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN HEREON, AND DOES HEREBY DEDICATED THE EASEMENTS SHOWN ON THE PLAT FOR MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE, OR USING SAME, SAID DEDICATIONS BEING FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES, EXCEPT AS SHOWN HEREIN. NDC BLAIR OAKS PROJECT, LP DOES HEREBY BIND ITSELF, SUCCESSORS AND ASSIGNS TO FOREVER WARRANT AND DEFEND ALL AND SINGULAR THE ABOVE DESCRIBED STREET, ALLEYS, EASEMENTS AND RIGHTS UNTO THE PUBLIC AGAINST EVERY PERSON WHOMSOEVER LAWFULLY CLAIMING OR TO CLAIM THE SAME OR ANY PART THEREOF. NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS ON SAID PLAT. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON ANY OF THESE EASEMENTS, AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON ANY OF SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, AND ADDITION TO OR REMOVING ALL OR PART OF ITS PERSPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

WITNESS MY HAND AT THE COLONY, DENTON COUNTY, TEXAS, THIS THE _____ DAY _____, 2014.

Dave Carter
Managing Partner

STATE OF TEXAS }
COUNTY OF DENTON }

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared DAVE CARTER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND in DENTON COUNTY, TEXAS,
this the _____ day of _____, 2014.

Notary Public, State of Texas

**REPLAT
LOTS 4R & 5, BLOCK A
GATEWAY 121 COMMERCIAL
SUBDIVISION
2.243 Acres**

BEING A REPLAT OF LOT 4, BLOCK A
OF THE
GATEWAY 121 COMMERCIAL SUBDIVISION
SITUATED IN THE
B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 173
AND
J.B. SHIPPS SURVEY, ABSTRACT NO. 1227
CITY OF THE COLONY

**ATTACHMENT 2
Proposed Final Plat**

CITY SIGNATURE BLOCK

On the _____ day of _____, 20____, this plat was duly approved by the Planning and Zoning Commission of the City of The Colony.

Signed: _____
Chairman of the Planning and Zoning Commission

Attest: _____
City Secretary

OWNER
NDC BLAIR OAKS PROJECT, LP
8235 Douglas Avenue, Suite 720
Dallas Texas, 75225
214-361-1555

RINGLEY & ASSOCIATES, INC.
SURVEYING • MAPPING • PLANNING
701 S. Tennessee • McKinney, Texas 75069
(972) 542-1266

Texas Firm Registration No. 10061300

Date	Job	Title
07/08/14	14057	14057-RP.DWG
Scale	Drawn by	Checked by
1" = 30'	Mark Steel	L. H. Ringley
		Sheet 1 of 1

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: September 9, 2014

DEPARTMENT: Engineering/Development Services Department

PLANNER: Brooks Wilson, AICP, Senior Planner, 972-624-3164

SUBJECT *FP14-0010, Assured Storage Addition, Lot 2, Block A (Holiday Inn)*

Consider approval of a Final Plat of Lot 2, Block A of the Assured Storage Addition, being a 3.03 acre tract of land in the BBB and CRR Survey, Abstract No. 173, located at the southwest corner of Memorial Drive and Paige Road.

OWNER/ENGINEER

Owner:	Colony TX Land Acquisition (WI), LLC	Dallas, Texas
Owner:	Western International	Dallas, Texas
Surveyor:	VRX Surveying Company	Plano, Texas

EXISTING CONDITION OF PROPERTY

The property is currently undeveloped.

PROPOSED DEVELOPMENT

The applicant is proposing a new limited service hotel on the property, Holiday Inn.

ADJACENT ZONING AND LAND USE

The subject property is zoned BP-Business Park and Gateway Overlay District.

North - BP-Business Park – Five Star Complex

South - LC-Light Commercial and the Gateway Overlay District – Proposed Assured Storage Mini Warehouse & Office (under construction)

East- PD-16 and the Gateway Overlay District – Home Depot

West- BP-Business Park and the Gateway Overlay District – undeveloped land

DEVELOPMENT REVIEW COMMITTEE (DRC) REVIEW

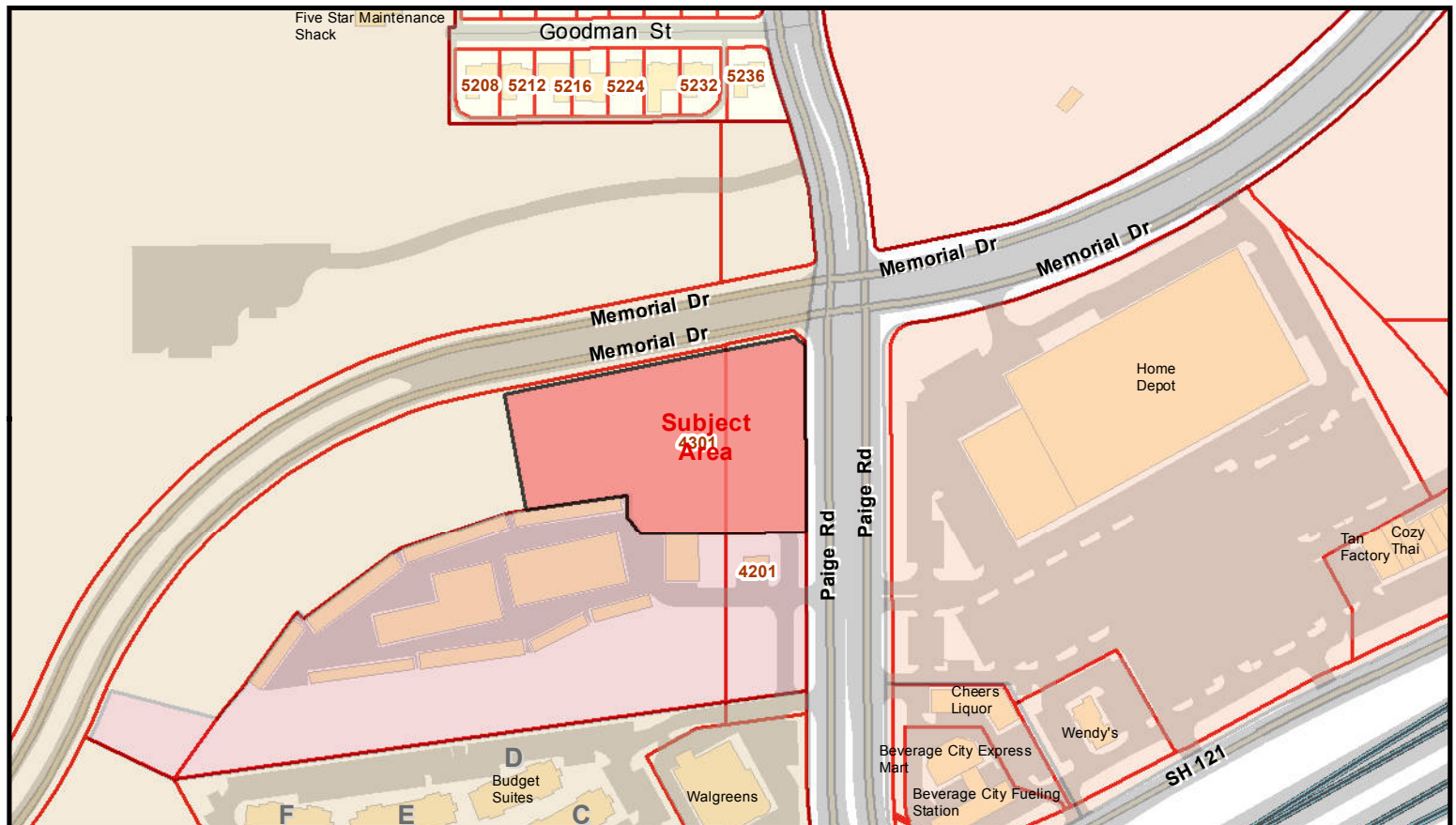
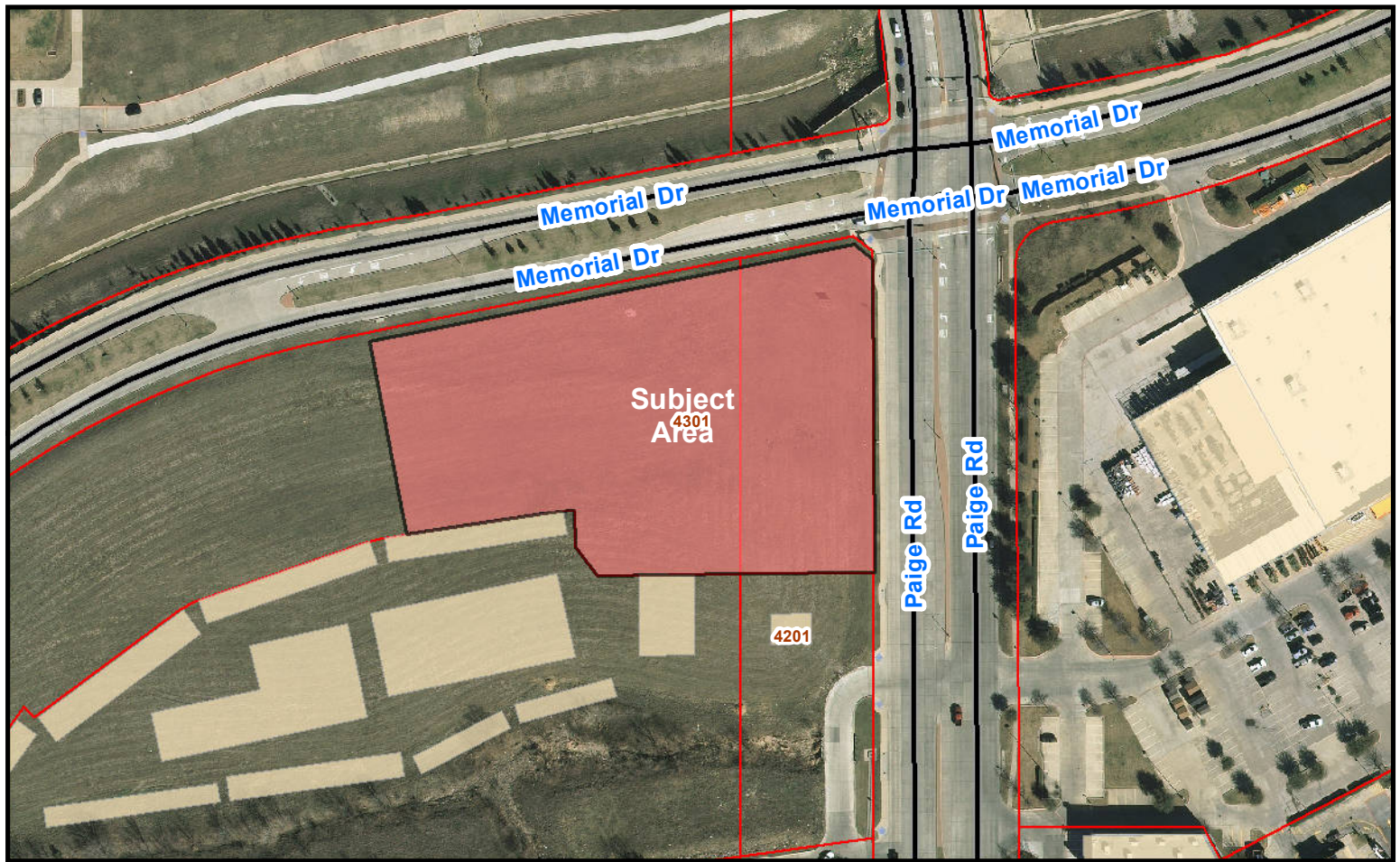
The Development Review Committee (DRC) finds the final plat meets the requirements of the requirements of Appendix B, Subdivision Ordinance, of the Code of Ordinances as conditioned in the Staff Report.

OPTIONS

1. Approve as recommended by DRC.
2. Postpone consideration.
3. Table item.

ATTACHMENTS

1. Location Map
2. Proposed Final Plat

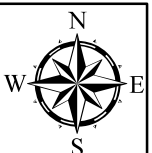


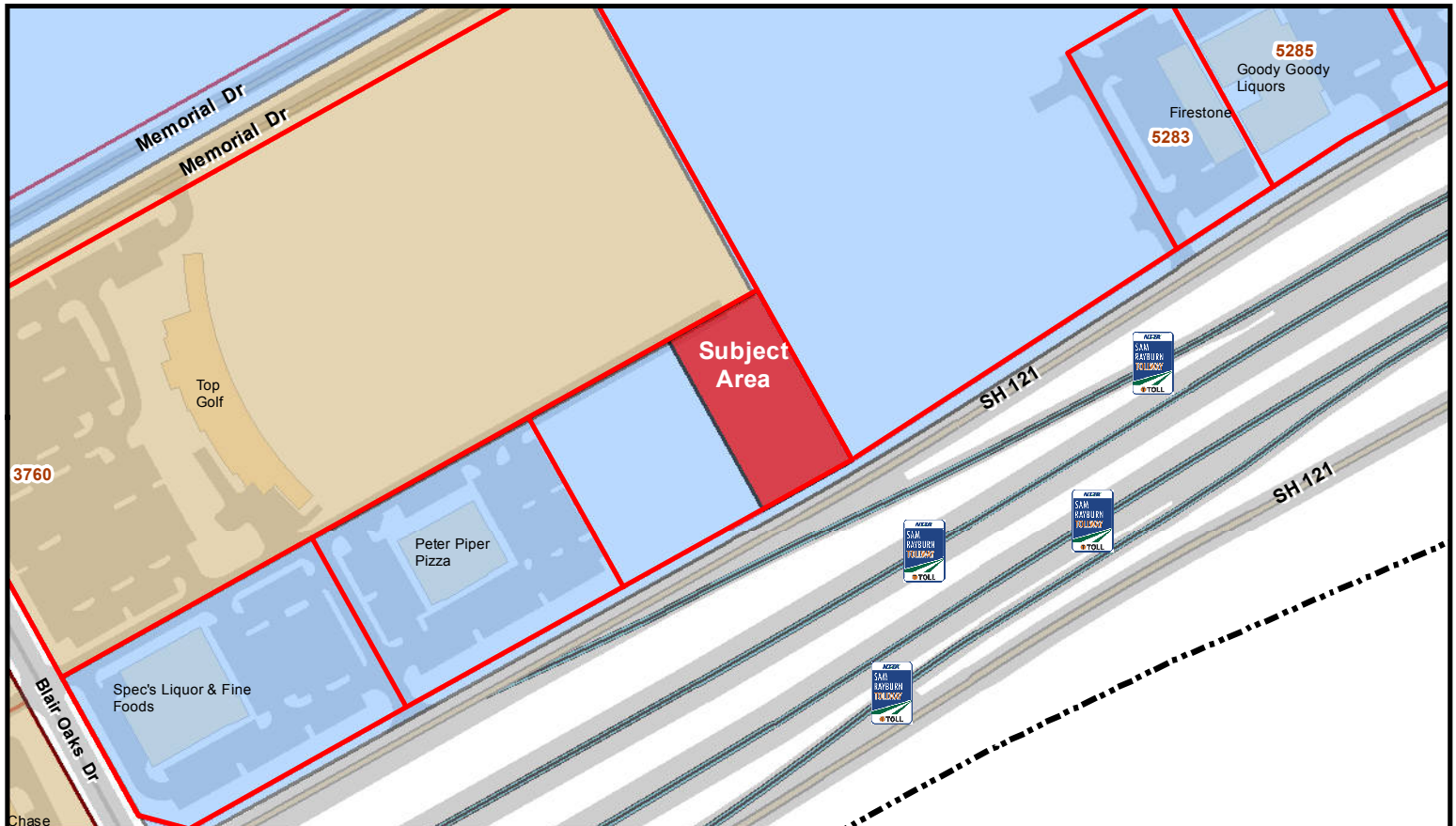
Project No. FP14-0010 - Project Name: Holiday Inn



City Limits	Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling
Holiday Inn	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	

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Project No. SP14-0011 - Project Name: Methodist Urgent Care

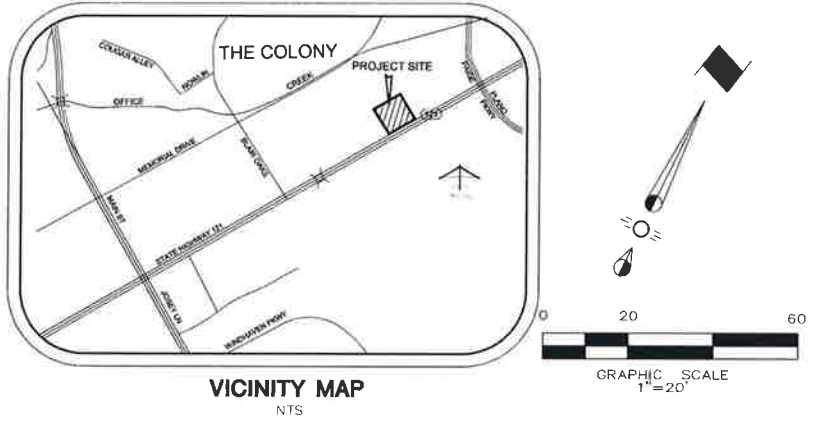
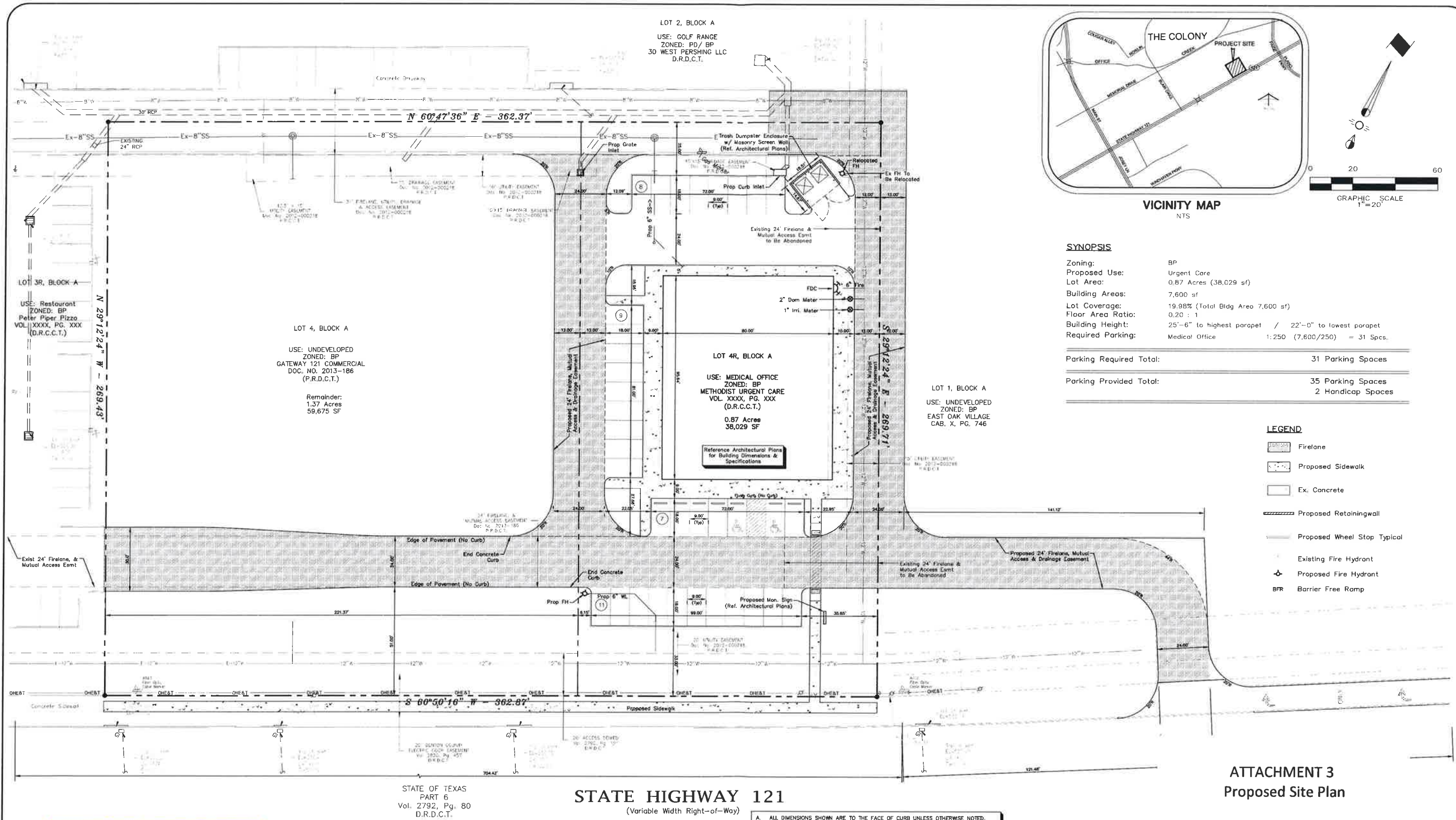


Methodist Urgent Care	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

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Z:\PROJECTS\2014 Job Files\14039 Urgent Care - The Colony\14039 Site.dwg, 8/1/2014 9:02:04 AM, 1:1, Blohmson



SYNOPSIS	
Zoning:	BP
Proposed Use:	Urgent Care
Lot Area:	0.87 Acres (38,029 sf)
Building Areas:	7,600 sf
Lot Coverage:	19.98% (Total Bldg Area 7,600 sf)
Floor Area Ratio:	0.20 : 1
Building Height:	25'-6" to highest parapet / 22'-0" to lowest parapet
Required Parking:	Medical Office 1:250 (7,600/250) = 31 Spcs.
Parking Required Total:	31 Parking Spaces
Parking Provided Total:	35 Parking Spaces 2 Handicap Spaces

- LEGEND**
- Firelane
 - Proposed Sidewalk
 - Ex. Concrete
 - Proposed Retaining Wall
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - BFR Barrier Free Ramp



CITY BENCHMARK:
#15 = 3 1/4" Aluminum Disc in concrete at the Northwest corner of the intersection of Paige Road & Memorial Drive 2.8' South of the headwall/wingwall of the culvert structure and 16.4' from the Southeastern angle point of the headwall near Paige Road.
Elev. = 594.096

BENCHMARK:
BM-1 "X" on top of Concrete Curb Inlet at the Northwest corner of the subject property.
Elevation = 585.22
BM-2 #3000 Brass Right-Of-Way Monument #352 near the Southeast corner of the subject property.
Elevation = 586.15

- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
B. ALL CURB RETURN RADII SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS, ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER CITY OF COLONY STANDARD DETAIL SHEET P-2.
D. FIRE SPRINKLERS ARE PROVIDED FOR THE PROPOSED BUILDING.

CITY FILE NO. SP14-0010		
Issue Dates:	Revisions:	Date:
1 8/01/2014	1	
2	2	
3	3	
4	4	
5	5	
6	6	

CROSS ENGINEERING CONSULTANTS		
131 S. Tennessee St. McKinney, Texas 75069 725.562.4409		
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

ENGINEER:
Cross Engineering Consultants, Inc.
131 S. Tennessee St.
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jonathan D. Hake, P.E.

ARCHITECT:
Cross Architects, PLLC
1255 W. 15th Street, Suite 125
Plano, Texas 75075
Phone (972) 398-6644 ext. 301
Contact: Bret Flory

SURVEYOR:
Ringley & Associates, Inc.
701 S. Tennessee Street
McKinney, Texas 75069
Phone (972) 542-1266
Fax (972) 542-8682
Contact: Lawrence Ringley

SITE PLAN		Sheet No.
METHODIST URGENT CARE		SP
NORTHPOINT DEVELOPMENT CO.		Project No.
CITY OF THE COLONY, TEXAS		14039

SITE PLAN
METHODIST URGENT CARE

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: September 9, 2014

DEPARTMENT: Engineering/Development Services Department

PLANNER: Brooks Wilson, AICP, Senior Planner, 972-624-3164

SUBJECT *SP14-0011, Methodist Urgent Care Site Plan*

Discuss and consider making a recommendation to City Council on a request for approval of a Site Plan for a 7,600 square foot medical clinic, Methodist Urgent Care, to be located on a 0.87 acre tract of land on the north side of the Sam Rayburn Tollway (S.H. 121) approximately 450 feet east of Blair Oaks Drive.

APPLICANT

Owner/Developer:	NDC Blair Oaks Project, LP	Dallas, Texas
Engineer:	Cross Engineering, Inc.	McKinney, Texas
Surveyor:	Ringley & Associates, Inc.	McKinney, Texas

ESTIMATED PROJECT SCHEDULE

City Council must approve the Site Plan prior to construction. The Planning and Zoning Commission heard the associated Replat (RP14-0003) on tonight's Consent Agenda. The approved Replat must be filed for record with Denton County prior to the onset of vertical construction.

OPTIONS

1. Approve as submitted.
2. Approve with conditions that are not met (regulations from the Zoning Ordinance and/or the Gateway Overlay regulations).
3. Postpone consideration.
4. Table item.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Site Plan.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Site Plan
4. Site Plan Detail (free right turn lane)
5. Proposed Landscape Plan
6. Proposed Elevations

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing to construct a 7,600 square foot medical clinic, called Methodist Urgent Care, to be located on a 0.87 acre tract of land on the north side of the Sam Rayburn Tollway (S.H. 121) approximately 450 feet east of Blair Oaks Drive.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The property is unplatted.

Adjacent Zoning/Land Use

North - PD-27 and the Gateway Overlay District/Top Golf

South - Sam Rayburn Tollway (S.H. 121) and City of Lewisville

East- BP-Business Park and the Gateway Overlay District/undeveloped land

West- BP-Business Park and the Gateway Overlay District/undeveloped land and Peter Piper Pizza

Land Use Analysis

The proposed clinic is an allowed use within the BP-Business Park zoning district.

Infrastructure Improvements

No specific public infrastructure improvements are planned for this area.

Circulation and Parking

The proposed facility will have direct access off of the Sam Rayburn Tollway frontage roads and cross access to the adjacent businesses via fire lanes and mutual access easements.

The parking ratio for a medical office is four (4) spaces for every 1,000 square feet of gross floor area (GFA). The parking provided meets the specific requirements of Section 13, Vehicle Parking Regulations, of the Zoning Ordinance.

Parking Standard	Square Feet	Parking Required	Parking Provided
Parking calculation for medical office: four (4) spaces for every 1,000 square feet GFA	7,600	32 spaces	35 spaces

Exterior Materials

The Gateway Overlay District requires that exteriors be constructed of 100% “brick, natural stone or stucco.” When stucco is used, it shall not exceed seventy-five percent (75%) coverage of the exterior facades. The building elevations indicate approximately thirty-nine percent (39%) stone with the remainder being a stucco product on three facades of the building, with the rear of the building having approximately twenty-five percent (25%) masonry product. The choices of exterior materials meet the requirements of the Gateway Overlay District.

Gateway Public Area Amenities

The Gateway Overlay District does not require public area amenities for developments that are less than one acre in size.

Landscaping and Irrigation

The applicant is proposing landscaping made up of a combination of Live Oak, Chinese Pistache and Crape Myrtles to meet the requirements of the Gateway Overlay District. Indian Hawthorne shrubs will be used to screen the parking spaces along the perimeter of the site. The proposed landscape plan includes the required irrigation notations and meets all the requirements of the Gateway Overlay District.

Gateway Landscaping Requirements

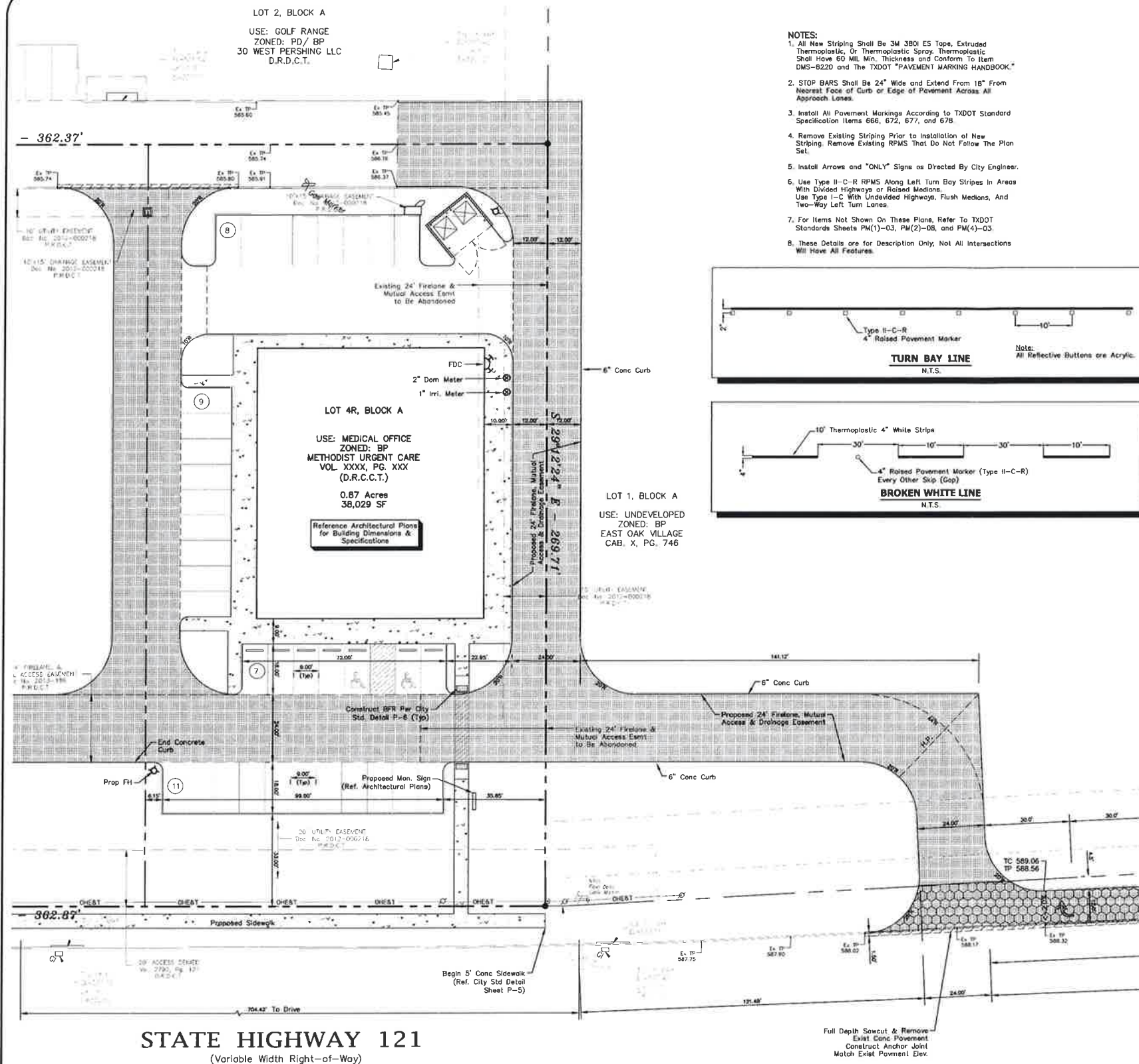
The Gateway Overlay District does not require additional landscape points for developments that are less than one (1) acre in size.

Pedestrian/Bicycle Requirements

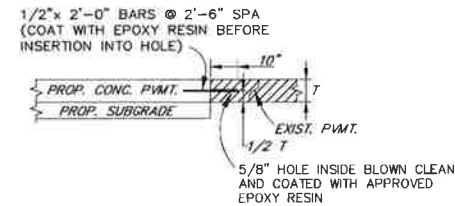
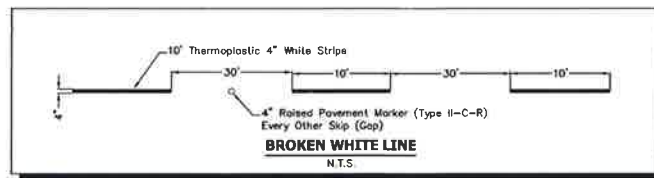
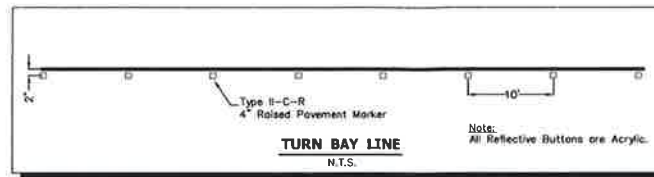
The Gateway Overlay District does not require bike racks for developments that are less than 10,000 square feet in building size.

Development Review Committee Review

The Development Review Committee finds that the Site Plan meets all applicable requirements of the Zoning Ordinance and the Gateway Overlay District regulations and therefore recommends approval.

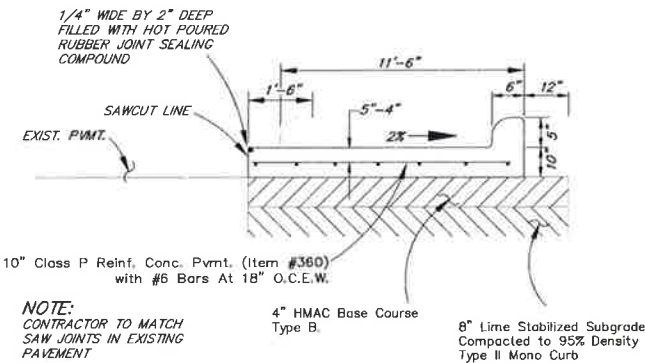


- NOTES:**
1. All New Striping Shall Be 3M 3B01 ES Tape, Extruded Thermoplastic, or Thermoplastic Spray, Thermoplastic Spray Shall Have 60 Mil. Min. Thickness and Conform to Item DMS-8220 and The XDOT "PAVEMENT MARKING HANDBOOK".
 2. STOP BARS Shall Be 24" Wide and Extend From 18" From Nearest Face of Curb or Edge of Pavement Across All Approach Lanes.
 3. Install All Pavement Markings According to XDOT Standard Specification Items 666, 672, 677, and 678.
 4. Remove Existing Striping Prior to Installation of New Striping. Remove Existing RPMs That Do Not Follow The Plan Set.
 5. Install Arrows and "ONLY" Signs as Directed By City Engineers.
 6. Use Type II-C-R RPMs Along Left Turn Bay Stripes in Areas With Divided Highways or Raised Medians.
 7. Use Type C With Undivided Highways, Flush Medians, and Two-Way Left Turn Lanes.
 8. For Items Not Shown On These Plans, Refer To XDOT Standards Sheets PM(1)-03, PM(2)-08, and PM(4)-03.
 9. These Details are for Description Only, Not All Intersections Will Have All Features.



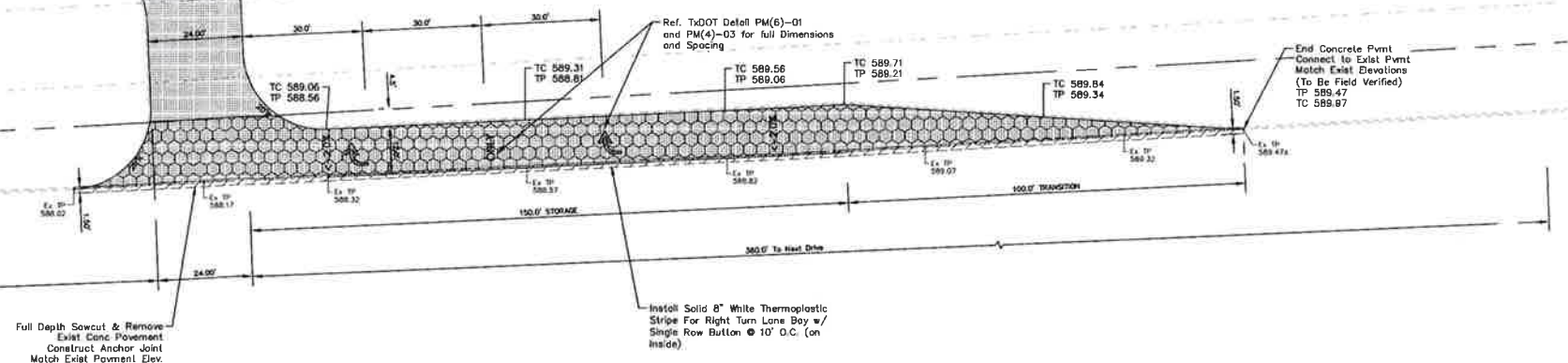
ANCHOR JOINT DETAIL

NT



S.H. 121
RIGHT TURN LANE DETAIL










NTS



GENERAL NOTES

1. All material and construction shall be in accordance with the City of The Colony Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by the North Central Texas Council of Governments (Latest Revision).
2. Existing utilities are shown schematically and are for the Contractor's guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The Contractor must call the appropriate utility company at least 72 hours prior to any excavation to request exact field location of utilities.
3. Contractor shall be responsible for protecting all existing improvements in the construction of this project. The Contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
4. All onsite paving dimensions are to the FACE of curb, where applicable, unless noted otherwise.
5. All curb radii are 3' unless noted otherwise.
6. All parking spaces are 9' x 18', unless noted otherwise.
7. Firelanes shall be striped in accordance with the City of The Colony Standards.
8. Parking stripes shall be 4" wide, spray applied white vinyl acrylic paint. Paint shall be applied in two coats to a clean, dry surface using template or striping machine.
9. All paving and earthwork operations shall conform to the **Geotechnical Report by**,
10. All concrete pavement shall be sawcut @ 15' OCWE.

LEGEND

- | | |
|---|---|
|  | 4" 3,000 psi Reinforced Concrete Sidewalk with #3 rebar @ 14" O.C.E.W. |
|  | 6" 4,000 psi Reinforced Concrete Pavement with #4 rebar @ 24" O.C.E.W.
(4% - 6% Entrained Air) |
|  | 5" 3,600 psi Reinforced Concrete Pavement with #3 rebar @ 24" O.C.E.W.
(4% - 6% Entrained Air) |
|  | <u>Subgrade:</u>
6" Lime Stabilized Subgrade TxDot Item 260-(6% or 27lbs Per S.Y.)
Compacted to 95% Maximum Dry Density at or above Optimum Moisture |
|  | 10" Class P Reinforced Concrete Pavement (Item # 360) with #6 rebar @ 18" O.C.E.W. on 4" HMAc Base Course Type "B" |
|  | <u>Subgrade:</u>
8" Lime Stabilized Subgrade TxDot Item 260-(32lbs Per S.Y.)
Compacted to 95% Maximum Dry Density at a moisture content between 0 to +4 percentage points of optimum moisture |
|  | Existing Fire Hydrant |
|  | Proposed Fire Hydrant |
|  | Barrier Free Ramp |

STATE HIGHWAY 121
(Variable Width Right-of-Way)

CITY BENCHMARK:

#15 = 3 1/4" Aluminum Disc in concrete at the Northwest corner of the intersection of Paige Road & Memorial Drive 2.8' South of the headwall/wingwall of the culvert structure and 16.4' from the Southeasterly angle point of the headwall near Paige Road.
Elev. = 594.096

BENCHMARK:

BM-1 "X" on top of Concrete Curb Inlet at the Northwest corner of the subject property.
Elevation = 585.22

BM-2 TxDOT Brass Right-Of-Way Monument #362 near the Southeast corner of the subject property.
Elevation = 588.15

Issue Dates:	Revisions:	Date:
1 8/01/2014	1	
2	2	
3	3	
4	4	
5	5	
6	6	

CROSS ENGINEERING
CONSULTANTS

131 S. Tennessee St.
972.562.4409

Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=20'

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
JONATHAN D. HAKE, P.E.
NO. 94738 ON
08/01/14. IT IS NOT TO
BE USED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.

PAVING PLAN RIGHT TURN LANE

METHODIST URGENT CARE

NORTHPOINT DEVELOPMENT CO.
CITY OF THE COLONY, TEXAS

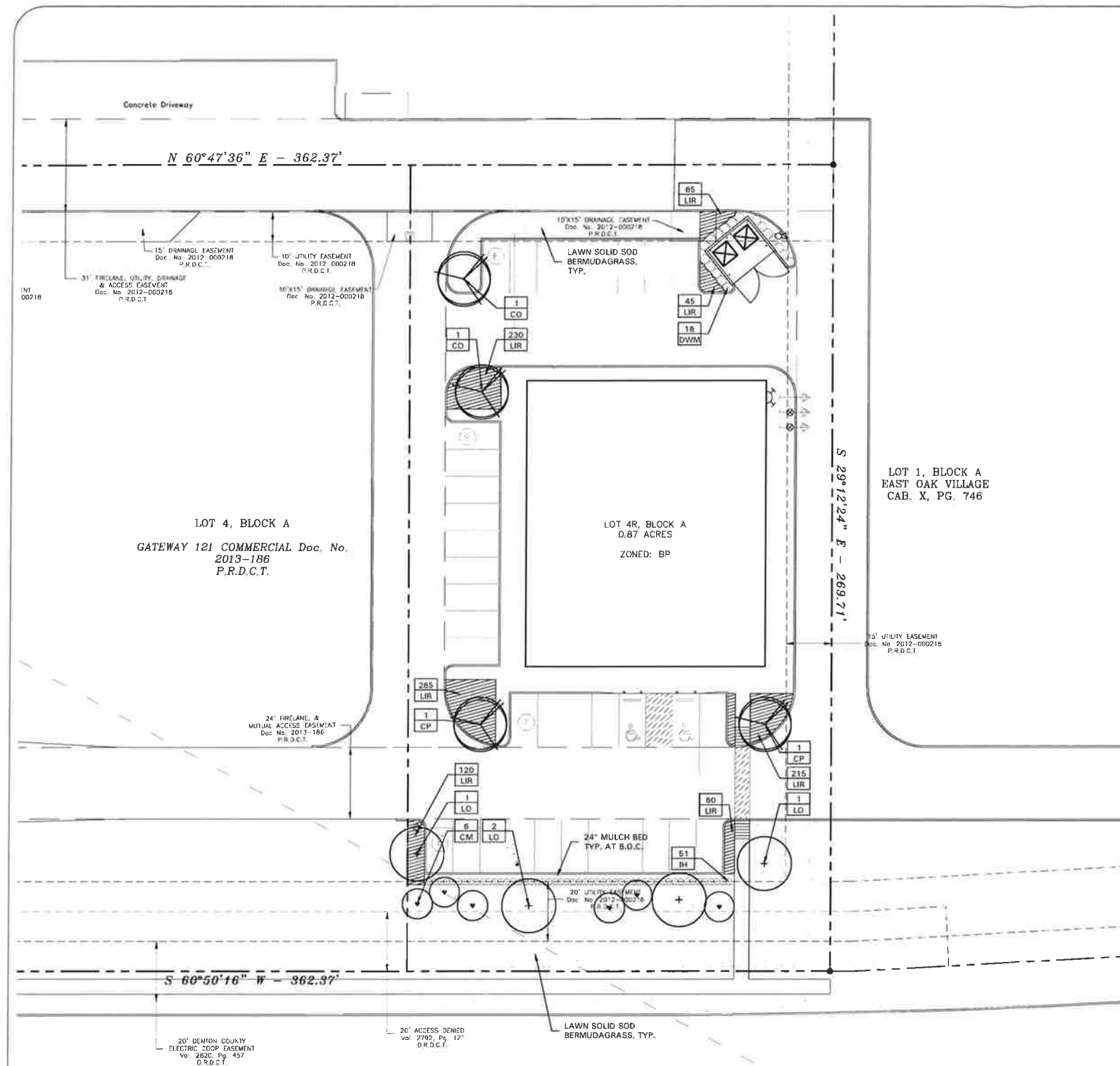
Sheet No.
C2
of
7
Project No.
14039

METHODIST URGENT CARE PAVING PLAN

RECEIVED

AUG 05 2014

PLANNING DEPARTMENT



LANDSCAPE TABULATIONS

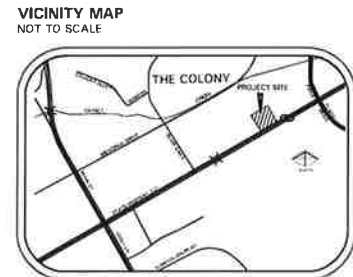
THE CITY OF THE COLONY, TEXAS - GATEWAY OVERLAY

- INTERIOR LANDSCAPE**
1. A minimum of ten (10) percent of the gross vehicular area shall be devoted to living landscape.
 2. One (1) large canopy tree planted for each 400 square feet of required interior landscape area.
- Vehicular area: 17,550 s.f.
Required: 1,755 s.f. (10%)
(4) trees, 3" cal.
Provided: 1,964 s.f. (11%)
(4) trees, 3" cal.

- PERIMETER LANDSCAPE**
1. Landscape buffers adjacent to public right-of-way shall contain at least one (1) large canopy tree every forty (40) linear feet or fraction and two (2) ornamental trees for every fifty (50) linear feet of street frontage inclusive of driveways.
 2. Vehicular use areas shall be screened from public right-of-way with a wall, fence, berm, evergreen hedge or other durable landscape barrier. They shall be a minimum of three (3) feet in height.
- Store Frontage: 141 l.f.
Required: (4) trees, 3" cal.
(6) ornamental trees
3" screen
Provided: (4) trees, 3" cal.
(6) ornamental trees
3" screen
- POINTS REQUIRED**
Lot Area: 35,828 s.f. (0.87 acres)
Required: 0 pts
Provided: 0 pts

- ### LANDSCAPE NOTES
1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
 6. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
 7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
 9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

- ### MAINTENANCE NOTES
1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
 2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
 3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
 4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
 5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
 6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.



- ### GENERAL LAWN NOTES
1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
 2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS, ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
 6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

- ### SOLID SOD NOTES
1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
TREES					
CM	<i>Lagerstroemia indica</i> 'Natchez'	Creepe Myrtle 'Natchez'	6	30 gal.	container grown, 3-5 trunk, no cross canes, 6' ht., 4' spread, matching
CO	<i>Quercus muhlenbergii</i>	Chickasaw Oak	2	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CP	<i>Pistacia chinensis</i>	Chinese Pistache	2	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	4	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
SHRUBS/GROUND COVER					
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	18	36" ht.	container full, 24" spread, 30" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'	61	6 gal.	container full, 20" spread, 24" o.c.
LIR	<i>Liriope muscari</i> 'Big Blue'	Liriope 'Big Blue'	1020	4" pots	container full top of container, 12" o.c. refer to notes
	<i>Cynodon dactylon</i>	Common Bermudagrass			

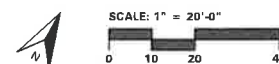
NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.

ATTACHMENT 5 Proposed Landscape Plan



STATE HIGHWAY 121

(Variable Width Right-of-Way)



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192

Issue Dates:	Revisions:	Date:
1	07.14.14	1
2	07.30.14	2
3		3
4		4
5		5
6		6

CROSS ENGINEERING CONSULTANTS

131 S. Stemmons St.
Ft. Worth, Texas 76102
Tel: 817-441-4411

1000 Ross Ave., Suite 1000
Ft. Worth, Texas 76102
Tel: 817-441-4411

Drawn By: DC
Checked By: KAH
Scale: 1"=20'



LANDSCAPE PLAN

METHODIST URGENT CARE

NORTHPOINT DEVELOPMENT CO.

CITY OF THE COLONY, TEXAS

Sheet No.
L1.01

Project No.
14039

METHODIST URGENT CARE



MATERIALS	AREA SQ. FT.	PERCENTAGE
EIFS CORNICE AND FINISH	64 SQ. FT.	45.8%
MASONRY FINISH	555 SQ. FT.	30.2%
GLASS WINDOWS DOORS OR DISPLAY WINDOWS	408 SQ. FT.	11.0%
TOTAL	1028 SQ. FT.	100%

4 EAST ELEVATION
1/8" = 1'-0" RIGHT ELEVATION



MATERIALS	AREA SQ. FT.	PERCENTAGE
EIFS CORNICE AND FINISH	810 SQ. FT.	97.6%
MASONRY FINISH	238 SQ. FT.	29.0%
GLASS WINDOWS DOORS OR DISPLAY WINDOWS	145 SQ. FT.	17.4%
TOTAL	1193 SQ. FT.	100%

2 NORTH ELEVATION
1/8" = 1'-0" REAR ELEVATION



MATERIALS	AREA SQ. FT.	PERCENTAGE
EIFS CORNICE AND FINISH	81 SQ. FT.	10.7%
MASONRY FINISH	130 SQ. FT.	16.4%
GLASS WINDOWS DOORS OR DISPLAY WINDOWS	455 SQ. FT.	58.3%
TOTAL	666 SQ. FT.	100%

3 WEST ELEVATION
1/8" = 1'-0" LEFT ELEVATION



MATERIALS	AREA SQ. FT.	PERCENTAGE
EIFS CORNICE AND FINISH	95 SQ. FT.	9.8%
MASONRY FINISH	554 SQ. FT.	51.0%
GLASS WINDOWS DOORS OR DISPLAY WINDOWS	777 SQ. FT.	73.3%
TOTAL	1426 SQ. FT.	100%

1 SOUTH ELEVATION
1/8" = 1'-0" FRONT ELEVATION

EXTERIOR FINISH LEGEND

AW	AWING	CS-1	CAST STONE	E-1	EIFS	ST-1	STONE
MANUFACTURER: BERRIDGE MANUFACTURING CO. VENDOR CONTACT:	MANUFACTURER: BERRIDGE MANUFACTURING CO. VENDOR CONTACT:	MANUFACTURER: DRYVIT VENDOR CONTACT: RICCI WOODS 214.267.8800	MANUFACTURER: DRYVIT VENDOR CONTACT: RICCI WOODS 214.267.8800	MANUFACTURER: DRYVIT VENDOR CONTACT: RICCI WOODS 214.267.8800	MANUFACTURER: DRYVIT VENDOR CONTACT: RICCI WOODS 214.267.8800	MANUFACTURER: BLACKSTONE BRICK CO. VENDOR CONTACT: BART SNOUDEN 214.855.5051	MANUFACTURER: BLACKSTONE BRICK CO. VENDOR CONTACT: BART SNOUDEN 214.855.5051
DESCRIPTION: STANDING SEAM METAL AWING COLOR: DARK BRONZE	DESCRIPTION: STANDING SEAM METAL AWING COLOR: DARK BRONZE	COLOR: TAN FINISH: SMOOTH	COLOR: TAN FINISH: SMOOTH	COLOR: 448 BAVARIAN WOOD FINISH: SANDPEBBLE	COLOR: 448 BAVARIAN WOOD FINISH: SANDPEBBLE	DESCRIPTION: NATURAL STONE VENEER COLOR/BLEND: LUDERS BUFF 00A	DESCRIPTION: NATURAL STONE VENEER COLOR/BLEND: LUDERS BUFF 00A
LOCATION: AWINGS ALL BUILDINGS INSTALLATION NOTES:	LOCATION: AWINGS ALL BUILDINGS INSTALLATION NOTES:	LOCATION: STONE WATERTABLE INSTALLATION NOTES:	LOCATION: STONE WATERTABLE INSTALLATION NOTES:	LOCATION: STUCCO CORNICE ALL BUILDINGS INSTALLATION NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS	LOCATION: STUCCO CORNICE ALL BUILDINGS INSTALLATION NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS	PATTERN: RANDOM TYPE: NATURAL SIZE: VARIES 4" 6" 8" 10" 12" MORTAR: STANDARD BUFF MORTAR	PATTERN: RANDOM TYPE: NATURAL SIZE: VARIES 4" 6" 8" 10" 12" MORTAR: STANDARD BUFF MORTAR
BR-1	BRICK	E-1	EIFS	P-1	PANT		
MANUFACTURER: BLACKSTONE BRICK CO. VENDOR CONTACT: BART SNOUDEN 214.855.5051	MANUFACTURER: BLACKSTONE BRICK CO. VENDOR CONTACT: BART SNOUDEN 214.855.5051	MANUFACTURER: DRYVIT VENDOR CONTACT: RICCI WOODS 214.267.8800	MANUFACTURER: DRYVIT VENDOR CONTACT: RICCI WOODS 214.267.8800	MANUFACTURER: SHERWIN WILLIAMS VENDOR CONTACT:	MANUFACTURER: SHERWIN WILLIAMS VENDOR CONTACT:		
DESCRIPTION: KING SIZE BRICK VENEER COLOR/BLEND: HANSON BLEND V180 TEXTURE: VELOUR	DESCRIPTION: KING SIZE BRICK VENEER COLOR/BLEND: HANSON BLEND V180 TEXTURE: VELOUR	COLOR: 1B AMARILLO WHITE FINISH: SANDPEBBLE	COLOR: 1B AMARILLO WHITE FINISH: SANDPEBBLE	COLOR: KILN BEIGE MODEL NUMBER: 546/06	COLOR: KILN BEIGE MODEL NUMBER: 546/06		
LOCATION: WALLS ON ALL BUILDINGS INSTALLATION NOTES:	LOCATION: WALLS ON ALL BUILDINGS INSTALLATION NOTES:	LOCATION: WALLS ON ALL BUILDINGS INSTALLATION NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS	LOCATION: WALLS ON ALL BUILDINGS INSTALLATION NOTES: INSTALL PER MANUFACTURERS SPECIFICATIONS	LOCATION: DUMPSTER GATES ALL EXPOSED STEEL ON DUMPSTER ENCLOSURES AND TENANT SPACE REAR DOORS INSTALLATION NOTES:	LOCATION: DUMPSTER GATES ALL EXPOSED STEEL ON DUMPSTER ENCLOSURES AND TENANT SPACE REAR DOORS INSTALLATION NOTES:		

CIVIL
CROSS ENGINEERING
CONSULTANTS, INC.
131 S. TENNESSEE ST.
MCKINNEY, TEXAS 75069
PH: 972.562.4409
FAX: 972.562.4471
CONTACT: JONATHAN D. HAKE, P.E.

SURVEYOR
RINGLEY & ASSOCIATES, INC.
701 S. TENNESSEE ST.
MCKINNEY, TEXAS 75069
PH: 972.542.1266
FAX: 972.542.8682
CONTACT: LAWRENCE RINGLEY



CROSS ARCHITECTS, PLLC.
1255 W. 15TH. ST., SUITE 125
PLANO, TEXAS 75075
PH: 972.398.6644
FAX: 972.312.8666
blory@crossarchitects.com

ATTACHMENT 6 Proposed Elevations

CITY OF THE COLONY, TEXAS

DATE	PROJECT NO.	SCALE	SHEET NAME:	FACADE PLAN
08/05/14	14043	AS NOTED	SHEET NO.:	A2.0

PLANNING AND ZONING COMMISSION REPORT

AGENDA DATE: September 9, 2014

DEPARTMENT: Engineering/Development Services Department

PLANNER: Brooks Wilson, AICP, Senior Planner, 972-624-3164

SUBJECT *SP14-0013, Hampton Inn Site Plan*

Discuss and consider making a recommendation to City Council on a request for approval of a Development Plan for a six story, 115-room Hampton Inn to be located on a 2.68 acre tract of land on the northeast corner of Plano Parkway and Bargain Way.

OWNER/ENGINEER

Owner:	Atlantic Colony Venture I, LLC	Carrollton, Texas
Engineer:	MCE Consulting Engineers	Dallas, Texas

PLANNED DEVELOPMENT - 25 ZONING REGULATIONS

Ordinance No. 2011-1927, adopted on November 15, 2011, established the development standards for Planned Development 25 (PD-25). As part of these regulations and standards, Section XVIII, Interpretation, Purpose and Conflict, Subsection A of PD-25 states the following:

“Except as expressly stated in these planned development regulations, the provisions of the Comprehensive Zoning Ordinance, as amended, and the general sign ordinance, Ordinance 2011-1896, as amended shall be inapplicable to this planned development district. These planned development district regulations shall be the sole and exclusive zoning and sign regulations that shall apply to the Property, and shall not be modified or altered in any way without amending this Ordinance pursuant to the procedures established for a change in zoning by Chapter 211, Local Government Code, as amended, and the Comprehensive Zoning Ordinance.”

Therefore, the proposed Hampton Inn, to be located within PD-25, is not obligated to apply for and gain approval for a Specific Use Permit for a Limited Service Hotel as required in other areas of the City. The PD regulations override the Zoning Ordinance and the Hotels Zoning Ordinance amendment, adopted by the City Council on January 7, 2014 (Ordinance No. 2014-2038), is not applicable.

ESTIMATED PROJECT SCHEDULE

City Council must approve the Development Plan prior to construction. The Planning and Zoning Commission approved the associated Preliminary Plat (PP13-0002) on February 26, 2013. The Final Plat (FP14-0012) is currently under staff review. The Final Plat must be filed for record with Denton County prior to the onset of vertical construction.

OPTIONS

1. Approve as submitted.

2. Approve with conditions that are not met.
3. Postpone consideration.
4. Table item.

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the Site Plan.

ATTACHMENTS

1. Staff Analysis
2. Location Map
3. Proposed Development Plan
4. Proposed Elevations

ATTACHMENT 1

Staff Analysis

Summary of Request

The applicant is proposing to construct a six story, 115-room Hampton Inn to be located on a 2.68 acre tract of land on the northeast corner of Plano Parkway and Bargain Way.

Existing Condition of Property

The subject property is undeveloped.

Platting Status

The property is unplatted.

Adjacent Zoning/Land Use

North - PD-25, undeveloped land

South - PD-25, undeveloped land

East- PD-25, Nebraska Furniture Mart (under construction)

West- PD-25, undeveloped land

Land Use Analysis

A hotel is an allowed land use within the PD-25 zoning district.

Infrastructure Improvements

The traffic impact analysis conducted by the Savant Group for the Nebraska Furniture and Grandscape Development recommended several roadway improvements to mitigate the anticipated increase of traffic in the area. Some of these improvements are currently under construction, such as the addition of the Double Diverging Diamond over S.H. 121 at South Colony Boulevard which will divert much of the NFM Development bound traffic from the intersections of S.H. 121 at both Paige/Plano Parkway and Spring Creek.

The roadways on the site include Nebraska Furniture Mart Drive, which extends from Plano Parkway at Tittle across the north side of the Grandscape site and connects to both the South Colony Boulevard overpass and Grandscape Boulevard, which continues east to connect with Headquarters Drive at Spring Creek. A cross street, called Bargain Way, connects the S.H. 121 frontage road with Plano Parkway.

Circulation and Parking

The proposed hotel will have indirect access off of Plano Parkway and Bargain Way. Additional cross access will be provided to the future hotel site to the north of the Hampton Inn via fire lanes and mutual access easements. An additional fire lane is shown on the east side of the site – this will be to provide adequate fire protection to the future hotel site on Lot 8, immediately north of the Hampton Inn site.

The parking ratio for hotel uses in PD-25 is one space for each guest room. The parking provided meets the specific requirements of the Planned Development regulations.

Parking Standard	Rooms/Seats	Parking Required	Parking Provided
Parking calculation for hotel uses: one (1) space for every one (1) hotel room	115 rooms	115 spaces	120 spaces
Parking calculation for meeting room uses: one (1) space for every three (3) seats	37 seats	13 spaces	16 spaces
		128 spaces	136 spaces

Exterior Materials

PD-25 does not have specific exterior material standards. However, the proposed elevations show that the hotel exteriors shall be comprised of ceramic tile (a masonry product) and wood cement board (a masonry product) with the remainder of the exteriors being a stucco finish.

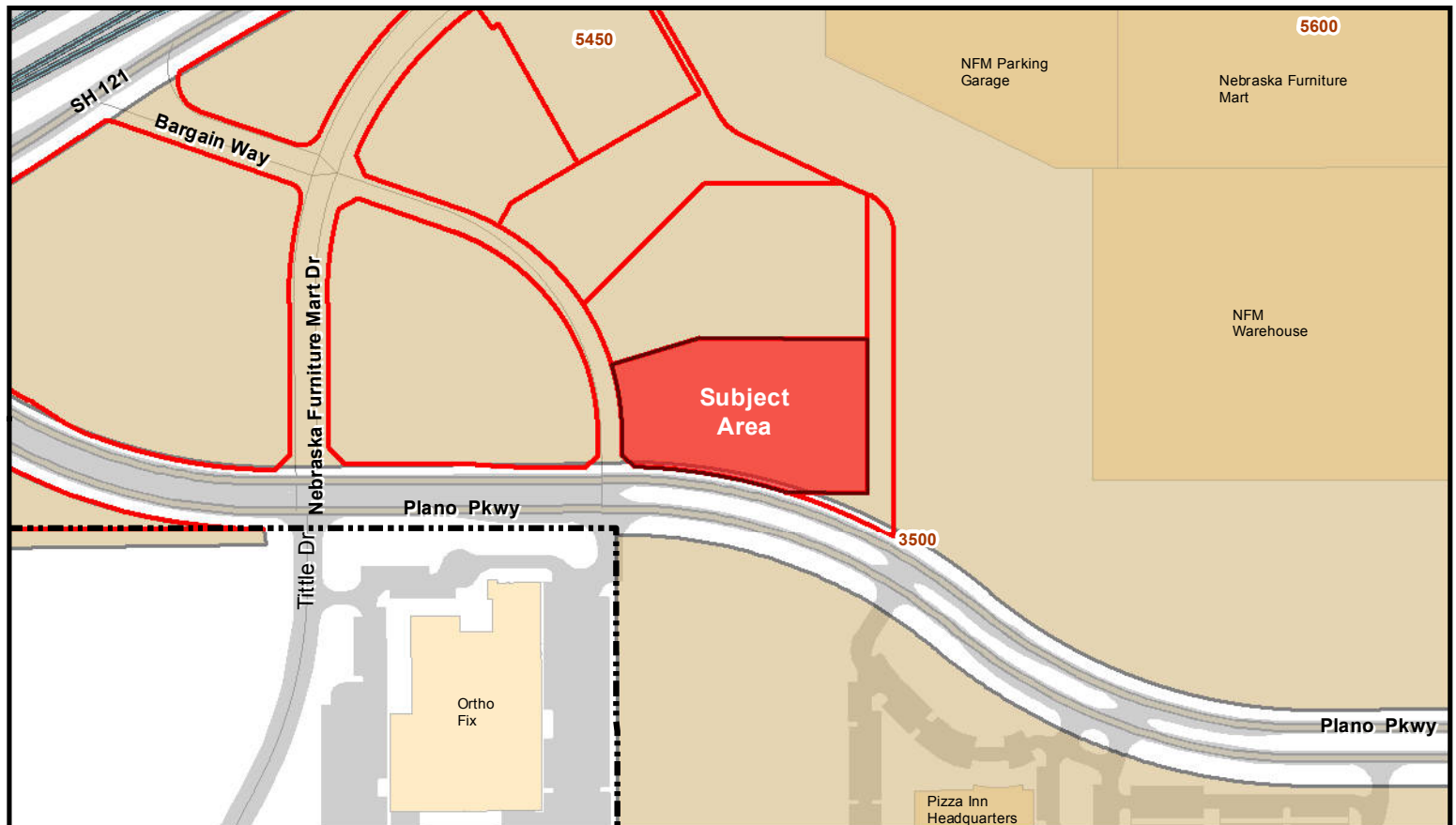
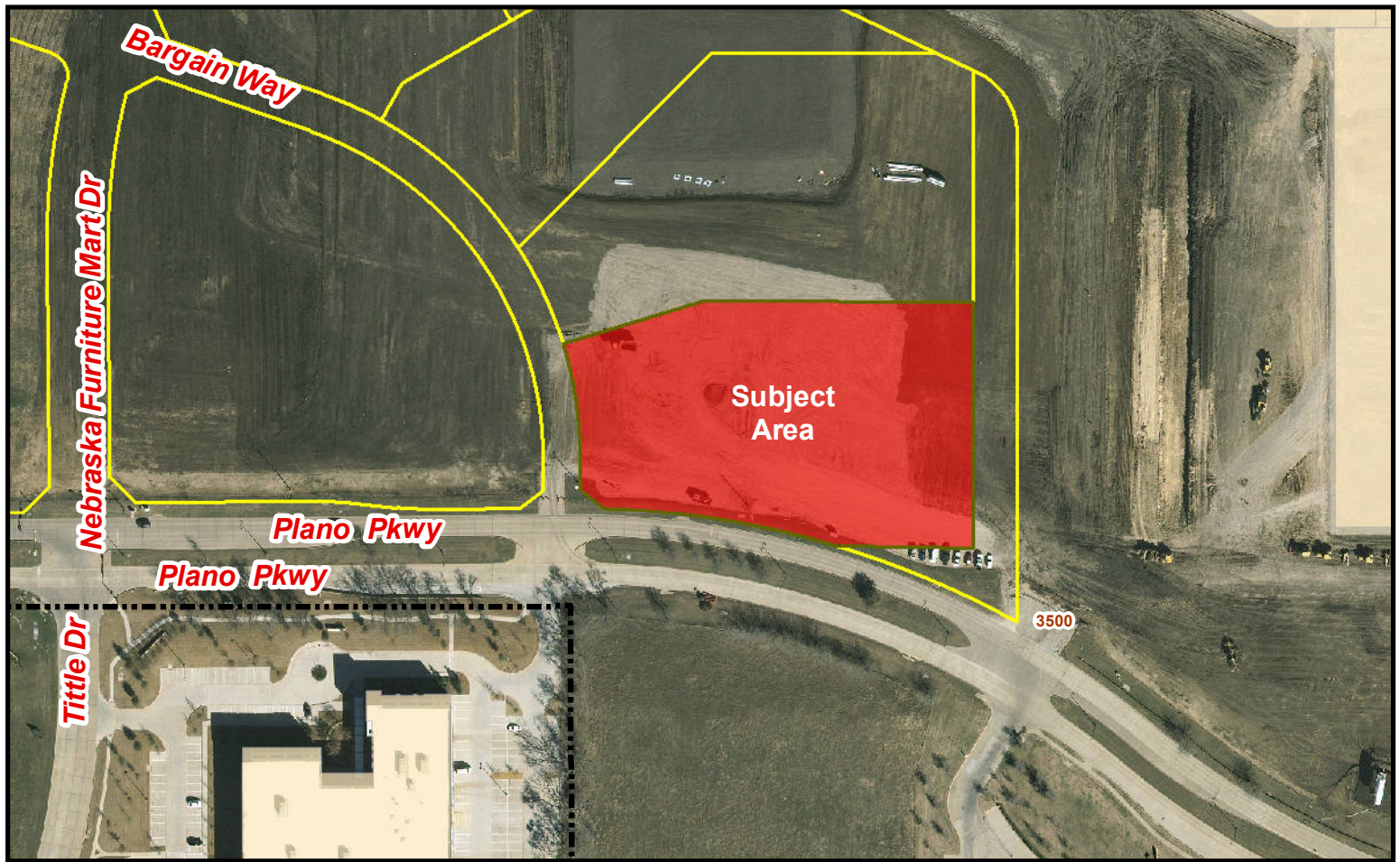
Elevation/Type of Product	Tile	Wood Cement Board	Stucco
South elevation (front)	27%	23%	50%
North elevation (rear)	25%	15%	60%
East elevation	25%	25%	50%
West elevation	18%	26%	56%

Landscaping

PD-25 does not require the landscaping plans to be submitted as part of the site plan process, as is customary in the City of The Colony. Instead, the landscaping plan will be submitted with the building plans. Therefore, no landscaping plans were submitted for review at this time. These shall be submitted at a later date, reviewed by staff and approved administratively, in compliance with the PD-25 regulations.

Development Review Committee Review

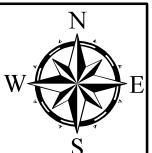
The Development Review Committee finds that the Development Plan meets all applicable requirements of the governing Planned Development regulations.

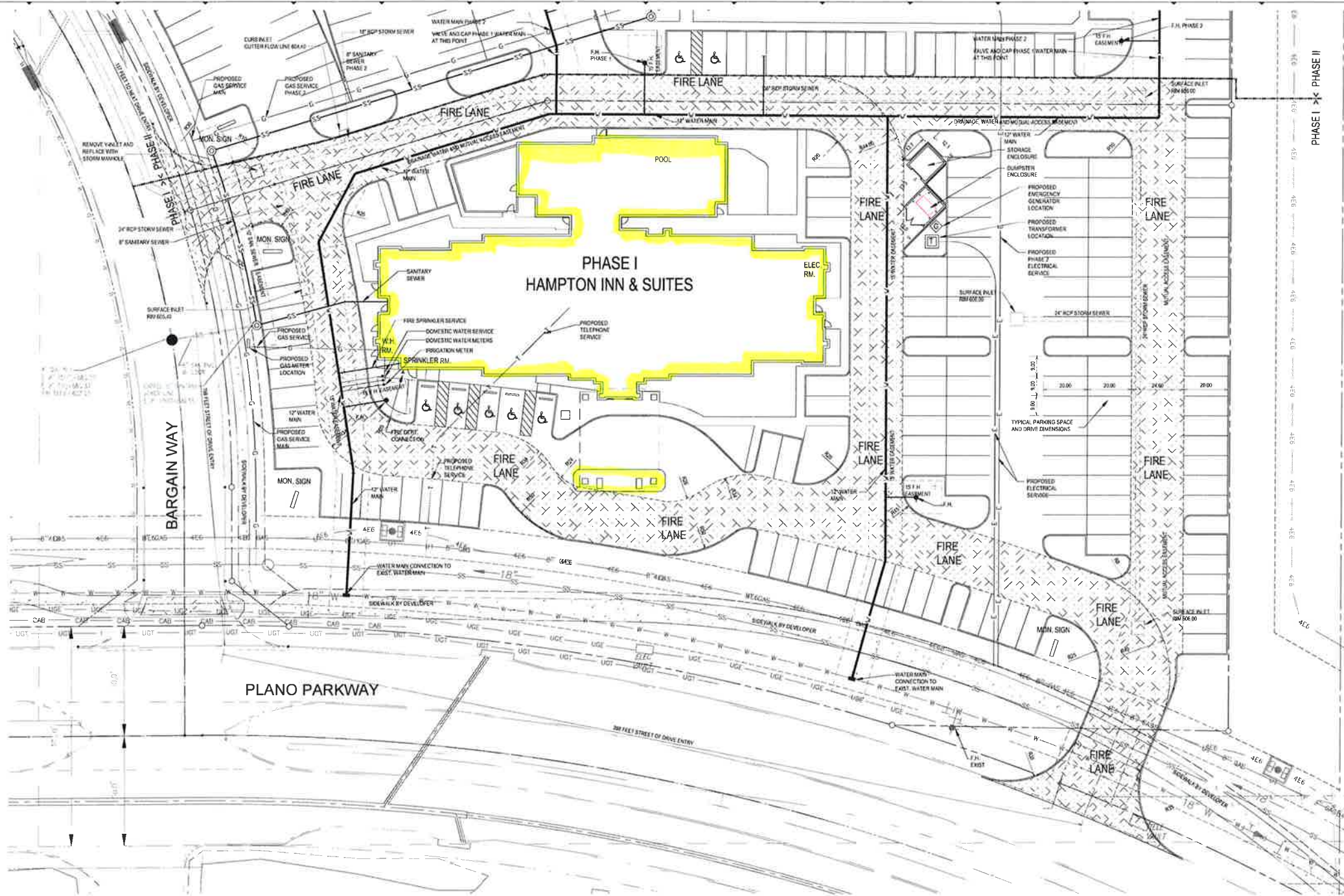


Project No. SP14-0013 - Project Name: Hampton Inn & Suites

Hampton Inn & Suites	Business Park/Industrial	Heavy Commercial	Mobile Home	Planned Development	Building Footprints
Agricultural	Duplex Dwelling	Industrial	Neighborhood Service	Shopping Center	
Business Park	General Retail	Light Commercial	Office District 1	Single Family Dwelling	

This map was generated by GIS data provided by The Colony GIS Department. The City of The Colony does not guarantee the correctness or accuracy of any features on this map. These digital products are for illustration purposes only and are not suitable for site-specific decision making.





SITE PLAN GENERAL NOTES

- BUILDING IS TO BE 100% SPRINKLED
- FIRE LANES SHALL BE DESIGNED BY CITY STANDARDS
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT TEXAS ACCESSIBILITY STANDARDS
- SIDEWALKS WITHIN THE RIGHT-OF-WAY ARE THE RESPONSIBILITY OF THE DEVELOPER IN WHICH THIS PROPERTY IS LOCATED AND ARE THE RESPONSIBILITY OF THE DEVELOPER
- WITHIN THE PROPERTY, MINIMUM FOUR FOOT WIDE SIDEWALKS SHALL BE PROVIDED. DESIGN IS TO BE IN ACCORDANCE WITH CITY STANDARDS. BARRIER FREE RAMPS PER CITY STANDARDS SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS
- MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
- ALL SIGNAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTION DEPARTMENT
- IT IS UNDERSTOOD THAT APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED
- OPEN STORAGE, WHERE PERMITTED SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN OF THE CODE OF ORDINANCES
- CONSTRUCTION AND OCCUPANCY GROUP SHALL BE IN ACCORDANCE WITH ALL CODES AND REGULATIONS. AND BUILDING PLANS ARE SUBJECT TO PERMIT SUBMISSION TO THE BUILDING INSPECTION DEPARTMENT
- ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND

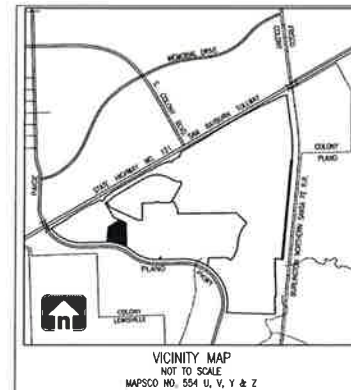
LEGEND

FIRE LANE
 TYPICAL WIDTH 24 FEET



SITE SUMMARY TABLE - PHASE I - HAMPTON INN & SUITES

ITEM	NOTES
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	PD25
LAND USE (FROM ZONING ORDINANCE)	HOTEL
TOTAL AREA (SQUARE FEET) & ACRES	176,664 SF / 2.666 AC
BUILDING FOOTPRINT AREA (SQUARE FEET)	15,811 SF
TOTAL BUILDING AREA (SQUARE FEET)	76,918 SF
BUILDING HEIGHT (IN STORES AND HEIGHT AT TOP OF ROOF)	4 STORES / 16M
BLDG HEIGHT (FEET) TO TALLEST BLDG ELEVATION TO TOP OF ROOF	80' 0"
LOT COVERAGE (PERCENT - X.XX%)	13.61%
LOT COVERAGE (RATIO - X.XX:1)	7.38:1
PARKING	
PARKING RATIO (FROM ZONING ORDINANCE)	1 SPACE / GUEST ROOM
PER TABLE 107 OF ORDINANCE NO. 2011-1887	
+ 1 SPACE PER GUEST ROOM REQUIRED	115 FOR GUEST ROOMS
+ MEETING ROOM OF 1,000 SF WITH 17 SEATS IS PROVIDED ADDITIONAL PARKING	13 FOR MEETING ROOM
AT RATE OF 1 SPACE PER 3 SEATS + 13 SPACES	128 TOTAL SPACES
REQUIRED PARKING	128 SPACES
PROVIDED PARKING	128 SPACES
ACCESSIBLE PARKING REQUIRED (MINIMUM)	6 SPACES
ACCESSIBLE PARKING PROVIDED (SPACES)	6 SPACES
BUILDING SET BACK	
PER TABLE 207 OF ORDINANCE NO. 2011-1887	NONE
MINIMUM BUILD SET BACK FROM STREET RIGHT-OF-WAY - NONE	



LOT 9, BLOCK A
 GRANDSCAPE ADDITION, PHASE II
 CITY OF THE COLONY, DENTON COUNTY TEXAS
 CITY OF THE COLONY - FILE NO. - SP14-0013

SURVEY DATA:

EXISTING CONDITION SURVEY DATA IS NOT AVAILABLE AT THIS TIME. THE SITE IS IN A TRANSITION STATE, AND AT THE TIME THAT THESE DRAWINGS WERE CREATED, THE SITE WAS IN USE AS A STAGING AREA FOR ADJACENT CONSTRUCTION PROJECT.

INFORMATION REGARDING INFRASTRUCTURE (ROADS, PAVING, UTILITIES, ETC.) HAS BEEN OBTAINED FROM CONSTRUCTION DOCUMENTS FOR SUCH INFRASTRUCTURE.

EXISTING GRADES HAVE NOT BEEN RESOLVED, AND ADDITIONAL CONFIRMATION OF SURVEY DATA MAY BE NECESSARY TO VERIFY EXISTING CONDITIONS AT THE TIME OF CONSTRUCTION OF THIS PROJECT.

Approved by the City Council on the ____ day of ____ 20__.

Planning Director

1 CITY SITE PLAN - SOUTH (PHASE I)

Scale: 1" = 20'



HAMPTON INN & SUITES
THE COLONY, TX



7524 MOOREVIEW CT
 FORT WORTH, TEXAS 76116
 (817) 284-2940
 (817) 284-2947
 (817) 284-2948



2777 LB/FREEMAN - SUITE 927
 DALLAS, TEXAS 75234
 Phone: 972-533-3500
 Firm Registration No. F 9944



DESCRIPTION	DRAWN BY	CHECK BY
ISSUE FOR PERMIT		

ATTACHMENT 3 Proposed Development Plan

HAMPTON INN & SUITES
THE COLONY, TX

EJES PROJECT NO. 009-02

SHEET NAME
 CITY SITE PLAN
 SOUTH (PHASE I)

SHEET NO.
 C-03a



SOUTH ELEVATION

MATERIAL PERCENTAGES		
TILE	3594 SF	27%
WOOD CEMENT BOARD	3067 SF	23%
STUCCO	6830 SF	50%
TOTALS	13491 SF	100%

ATTACHMENT 4
Proposed Elevations



Hampton Inn and Suites
The Colony, TX





NORTH ELEVATION

MATERIAL PERCENTAGES		
TILE	3398 SF	25%
WOOD CEMENT BOARD	1951 SF	15%
STUCCO	7391 SF	60%
TOTALS	13280 SF	100%



Hampton Inn and Suites
The Colony, TX





EAST ELEVATION

MATERIAL PERCENTAGES		
TILE	1509 SF	25%
WOOD CEMENT BOARD	1449 SF	25%
STUCCO	2955 SF	50%
TOTALS	5913 SF	100%



Hampton Inn and Suites
The Colony, TX





WEST ELEVATION

MATERIAL PERCENTAGES		
TILE	1069 SF	18%
WOOD CEMENT BOARD	1534 SF	26%
STUCCO	3221 SF	56%
TOTALS	5824 SF	100%



Hampton Inn and Suites
The Colony, TX

